

| COLOR INDEX |                               |
|-------------|-------------------------------|
| [Symbol]    | PLOT BOUNDARY                 |
| [Symbol]    | ABUTTING ROAD                 |
| [Symbol]    | PROPOSED WORK (COVERAGE AREA) |
| [Symbol]    | EXISTING (To be retained)     |
| [Symbol]    | EXISTING (To be demolished)   |

Approval Condition :

- This Plan Sanction is issued subject to the following conditions :
- Sanction is accorded for the Commercial Building at 24 & 25 , MAGADI MAN ROAD, Bangalore.
  - Sanction is accorded for Commercial use only. The use of the building shall not be deviated to any other use.
  - 146.08 area reserved for car parking shall not be converted for any other purpose.
  - Development charges towards increasing the capacity of water supply, sanitary and power main has to be paid to BWSBS and BESCOM if any.
  - Necessary ducts for running telephone cables, cubicles at ground level for postal services & space for dumping garbage within the premises shall be provided.
  - The applicant shall INSURE all workmen involved in the construction work against any accident / untoward incidents arising during the time of construction.
  - The applicant shall not stock any building materials / debris on footpath or on roads or on drains. The debris shall be removed and transported to near by dumping yard.
  - The applicant shall maintain during construction such barricading as considered necessary to prevent dust, debris & other materials endangering the safety of people / structures etc. in & around the site.
  - The applicant shall plant at least two trees in the premises.
  - Sanction shall be obtained from forest department for cutting trees before the commencement of the work.
  - License and approved plans shall be posted in a conspicuous place of the licensed premises. The building license and the copies of sanctioned plans with specifications shall be mounted on a frame and displayed and they shall be made available during inspectors.
  - If any owner / builder contravenes the provisions of Building Bye-laws and rules in force, the Architect / Engineer / Supervisor will be informed by the Authority in the first instance, warned in the second instance and cancel the registration if the same is repeated for the third time.
  - Technical personnel, applicant or owner as the case may be shall strictly adhere to the duties and responsibilities specified in Schedule - IV (Bye-law No. 3.6) under sub section IV-8 (e) to (k).
  - The building shall be constructed under the supervision of a registered structural engineer.
  - On completion of foundation or footings before erection of walls on the foundation and in the case of columnar structure before erecting the columns "COMMENCEMENT CERTIFICATE" shall be obtained.
  - The building should not be occupied without obtaining "OCCUPANCY CERTIFICATE" from the competent authority.
  - Drinking water supplied by BWSBS should not be used for the construction activity of the building.
  - The applicant shall ensure that the Rain Water Harvesting Structures are provided & maintained in good repair for storage of water for non potable purposes or recharge of ground water at all times having a minimum total capacity mentioned in the Bye-law 32(a).
  - If any owner / builder contravenes the provisions of Building Bye-laws and rules in force, the authority will inform the same to the concerned registered Architect / Engineers / Supervisor in the first instance, warn in the second instance and cancel the registration of the professional if the same is repeated for the third time.
  - The Builder / Contractor / Professional responsible for supervision of work shall not shall not materially and structurally deviate the construction from the sanctioned plan, without previous approval of the authority. They shall explain to the owner s about the risk involved in contravention of the provisions of the Act, Rules, Bye-laws, Zoning Regulations, Standing Orders and Policy Orders of the BBMP.
  - In case of any false information, misrepresentation of facts, or pending court cases, the plan sanction is deemed cancelled.
- Special Condition as per Labour Department of Government of Karnataka vide ADDENDUM (Hosadaagihodoke) Letter No. LD/95/LET/2013, dated: 01-04-2013 :

| AREA STATEMENT (BBMP)   |  | VERSION NO. : 1.0.9 | VERSION DATE: 01/11/2018 |
|---|--|---------------------|--------------------------|
| PROJECT DETAIL:   |  |                     |                          |
| Authority: BBMP   | Plot Use: Commercial                               |                     |                          |
| Inward No: BBMP/Ad.Com./R.H/0031/19-20                                | Plot SubUse: Star Hotel                            |                     |                          |
| Application Type: General   | Land Use Zone: Commercial (Mutation/Corridor)      |                     |                          |
| Proposal Type: Building Permission                                    | Plot/Sub Plot No.: 24 & 25                         |                     |                          |
| Nature of Sanction: New   | Khalda No. (As per Khalda Extract): 166/2/169      |                     |                          |
| Location: Ring-III  | Locality / Street of the property: MAGADI MAN ROAD |                     |                          |
| Zone: Rajarajeshwarnagar  |  |                     |                          |
| Ward: Ward-129  |  |                     |                          |
| Planning District: 302-Herohalli                                      |  |                     |                          |
| AREA DETAILS:   |  |                     |                          |
| AREA OF PLOT (Minimum)  | (A)  |                     | SQ.MT.                   |
| NET AREA OF PLOT  | (A-Deductions)                                     |                     | 735.77                   |
| COVERAGE CHECK  |  |                     |                          |
| Permissible Coverage area (55.00 %)                                   |  |                     | 404.68                   |
| Proposed Coverage Area (35.62 %)                                      |  |                     | 262.05                   |
| Achieved Net coverage area ( 35.62 % )                                |  |                     | 262.05                   |
| Balance coverage area left ( 19.39 % )                                |  |                     | 142.63                   |
| FAR CHECK   |  |                     |                          |
| Permissible F.A.R. as per zoning regulation 2015 ( 2.75 )             |  |                     | 2023.38                  |
| Additional F.A.R. within Ring I and II ( for amalgamated plot - )     |  |                     | 0.00                     |
| Allowable TDR Area (60% of Perm.FAR)                                  |  |                     | 0.00                     |
| Allowable max. F.A.R. Plot within 150 M radius of Metro station ( - ) |  |                     | 0.00                     |
| Total Perm. FAR area ( 2.75 )   |  |                     | 2023.38                  |
| Commercial FAR (100.00%)  |  |                     | 405.51                   |
| Proposed FAR Area   |  |                     | 405.51                   |
| Achieved Net FAR Area ( 0.55 )  |  |                     | 405.51                   |
| Balance FAR Area ( 2.20 )   |  |                     | 1617.87                  |
| BUILT UP AREA CHECK   |  |                     |                          |
| Proposed BuiltUp Area   |  |                     | 539.10                   |
| Achieved BuiltUp Area   |  |                     | 539.10                   |

Approval Date : 05/04/2019 12:26:47 PM

Payment Details

| Sr No. | Challan Number      | Receipt Number      | Amount (INR) | Payment Mode | Transaction Number | Payment Date          | Remark |
|--------|---------------------|---------------------|--------------|--------------|--------------------|-----------------------|--------|
| 1      | BBMP/11530/CH/18-19 | BBMP/11530/CH/18-19 | 10625.9      | Online       | 8203965385         | 03/25/2019 3:20:00 PM | -      |
|        | No.                 | Head                | Amount (INR) | Remark       |                    |                       |        |
|        | 1                   | Scrutiny Fee        | 10625.9      | -            |                    |                       |        |

Block USE/SUBUSE Details

| Block Name | Block Use  | Block SubUse | Block Structure       | Block Land Use Category |
|------------|------------|--------------|-----------------------|-------------------------|
| A (WING)   | Commercial | Small Shop   | Bldg upto 11.5 mt. HL | R                       |

The plans are approved in accordance with the acceptance for approval by the Joint Commissioner (R. R. NAGAR) on date 04/05/2019 vide Ip number: BBMP/Ad.Com./R.H/0031/19-20 subject to terms and conditions laid down along with this building plan approval. Validity of this approval is two years from the date of issue.

ASSISTANT DIRECTOR OF TOWN PLANNING (R. R. NAGAR)  
BHRUHAT BENGALURU MAHANAGARA PALIKE

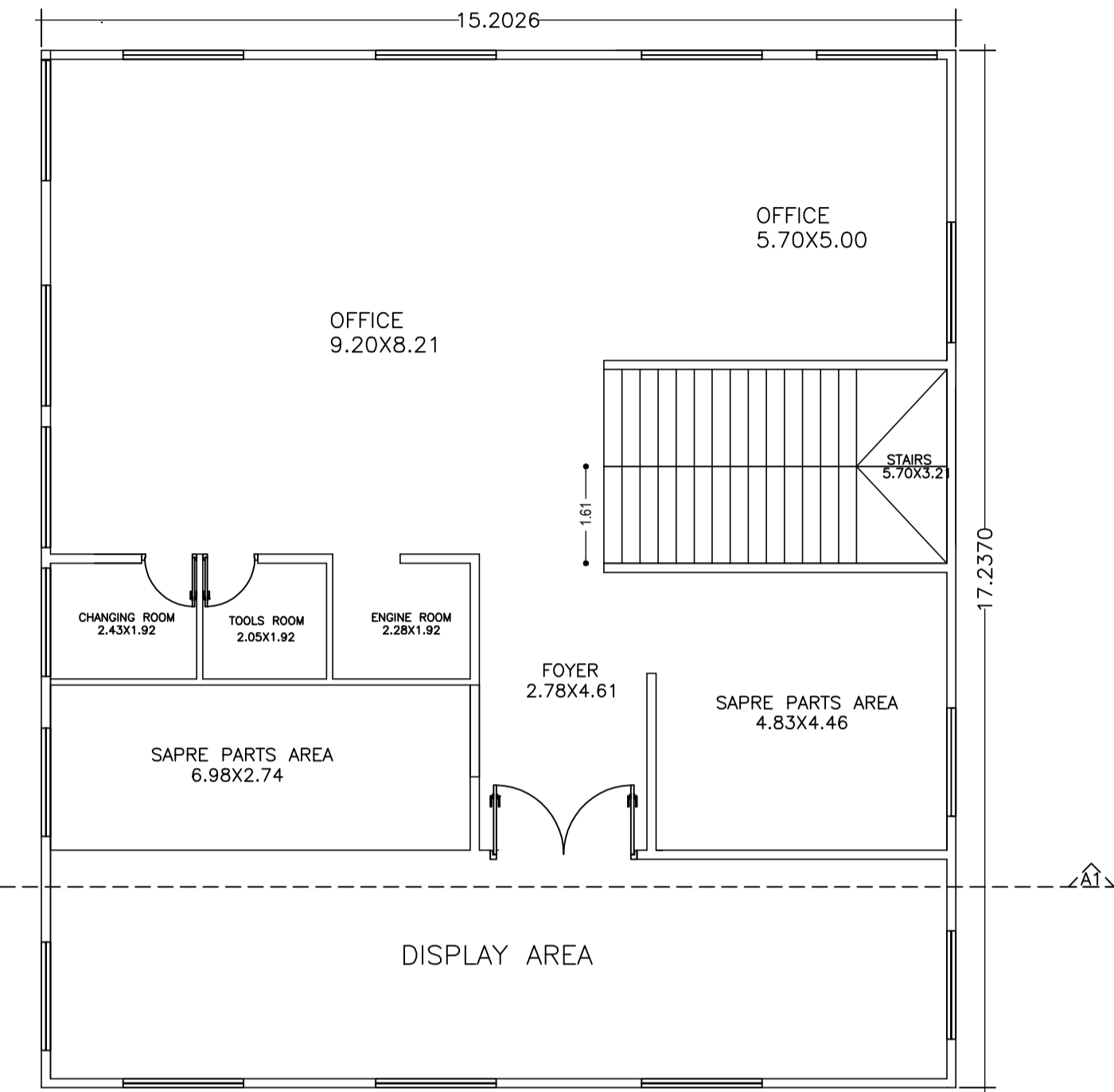
OWNER / GPA HOLDER'S SIGNATURE  
OWNER'S ADDRESS WITH ID NUMBER & CONTACT NUMBER :  
G. SURESH, G. NAGARAJA MAGADI MAIN ROAD

ARCHITECT/ENGINEER /SUPERVISOR'S SIGNATURE  
K.Manjappa No 2240, 4th cross, Shivananda nagar, Nagarbhavi main mad.No 2240, 4th cross, Shivananda nagar, Nagarbhavi main road. BCC/BL-3.6/E-3002/09-10

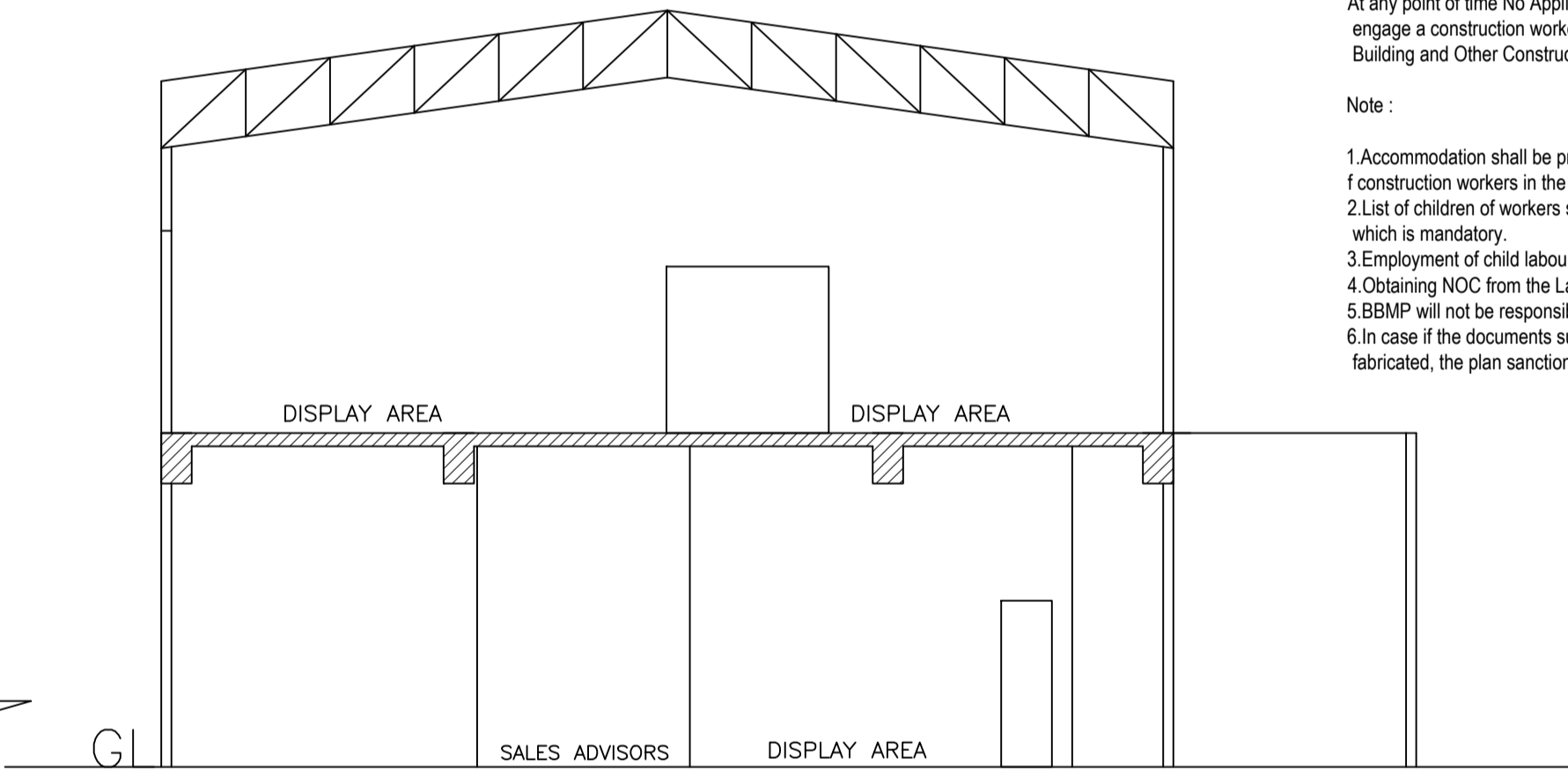
PROJECT TITLE :  
kjkik

DRAWING TITLE : 336181189-11-05-2019  
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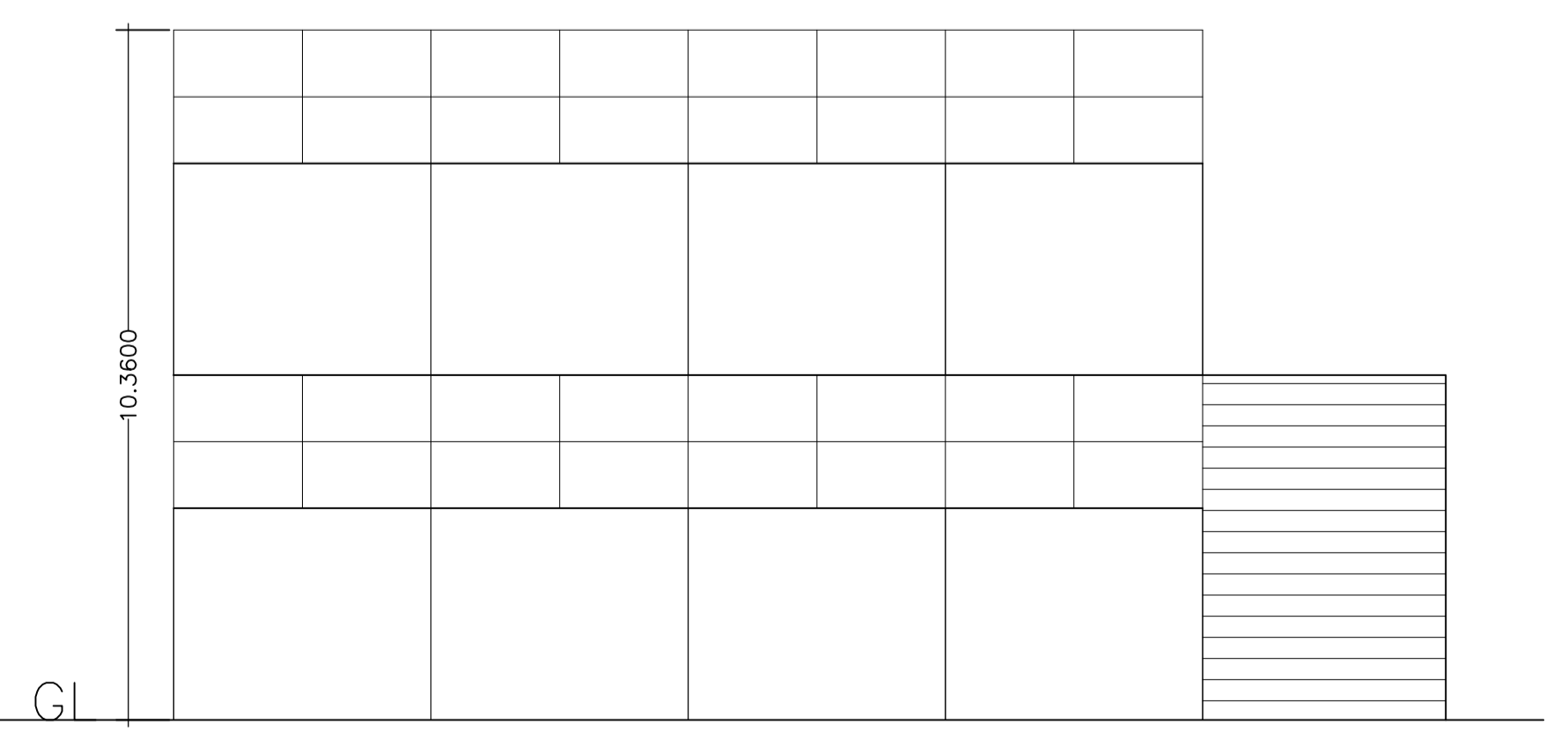
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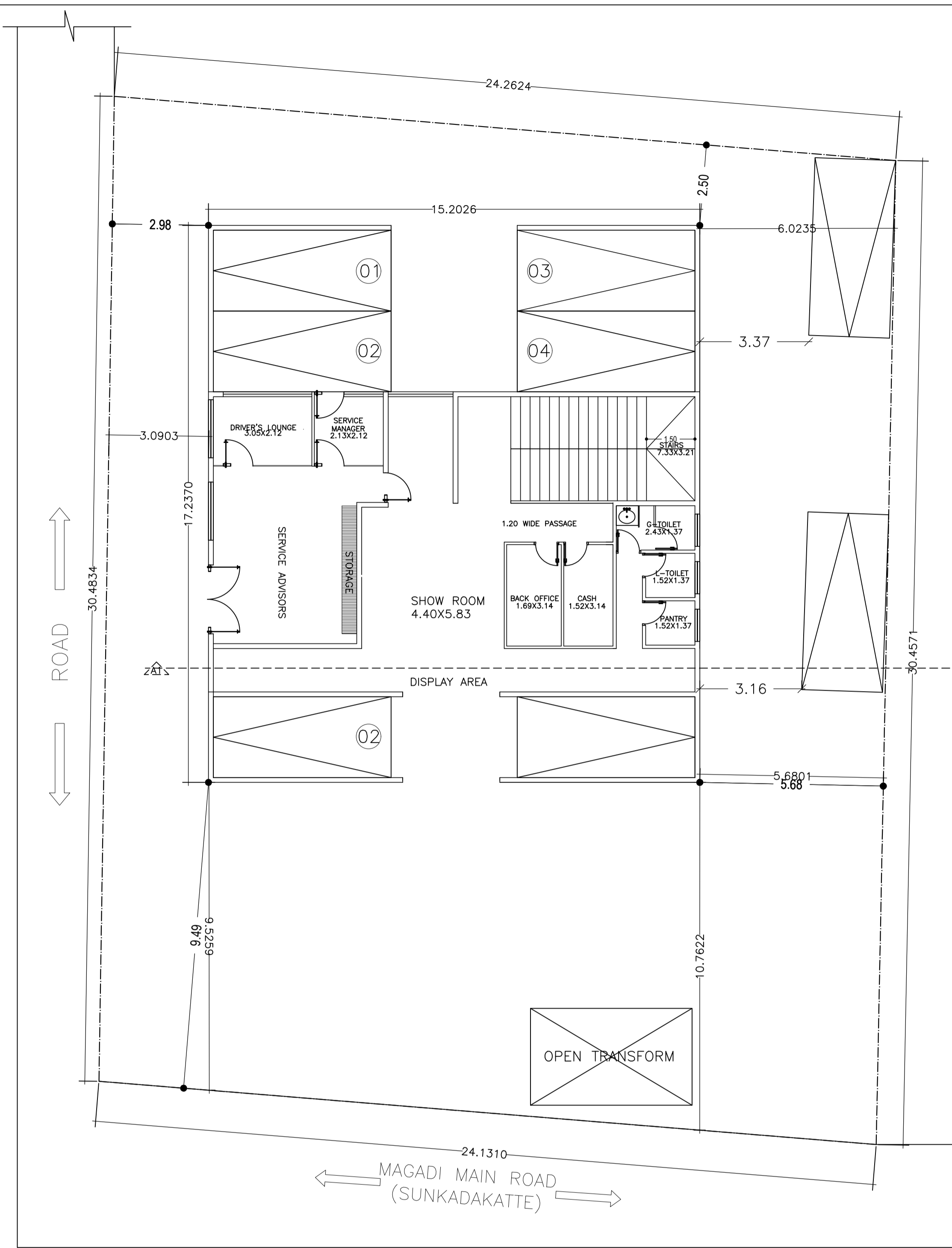
FIRST FLOOR PLAN



SECTION AT A-A



ELEVATION



GROUND FLOOR PLAN

Block :A (WING)

| Floor Name                  | Total Built Up Area (Sq.mt.) | Deductions (Area in Sq.mt.) |         |            | Total FAR Area (Sq.mt.) |
|-----------------------------|------------------------------|-----------------------------|---------|------------|-------------------------|
|                             |                              | Substructure                | Parking | Commercial |                         |
| First Floor                 | 262.05                       | 0.00                        | 0.00    | 262.05     | 262.05                  |
| Ground Floor                | 15.00                        | 118.58                      | 143.47  |            | 143.47                  |
| Total                       | 539.10                       | 15.00                       | 118.58  | 405.51     | 405.52                  |
| Total Number of Same Blocks | 1                            |                             |         |            |                         |
| Total                       | 539.10                       | 15.00                       | 118.58  | 405.51     | 405.52                  |

UnitBUA Table for Block :A (WING)

| FLOOR             | Name           | UnitBUA Type | UnitBUA Area | Carpet Area | No. of Rooms | No. of Tenement |
|-------------------|----------------|--------------|--------------|-------------|--------------|-----------------|
| GROUND FLOOR PLAN | SPLIT SHOWROOM | OFFICE       | 143.47       | 106.93      | 9            | 1               |
| FIRST FLOOR PLAN  | CFAR-64        | OFFICE       | 262.05       | 227.56      | 8            | 1               |
| Total:            | -              | -            | 405.52       | 334.49      | 17           | 2               |

FAR & Tenement Details

| Block        | No. of Same Bldg | Total Built Up Area (Sq.mt.) | Deductions (Area in Sq.mt.) |         | Proposed FAR Area (Sq.mt.) | Total FAR Area (Sq.mt.) |
|--------------|------------------|------------------------------|-----------------------------|---------|----------------------------|-------------------------|
|              |                  |                              | SubStructure                | Parking |                            |                         |
| A (WING)     | 1                | 539.10                       | 15.00                       | 118.58  | 405.51                     | 405.52                  |
| Grand Total: | 1                | 539.10                       | 15.00                       | 118.58  | 405.51                     | 405.52                  |

Required Parking (Table 7a)

| Block Name | Type       | SubUse     | Area (Sq.mt.) | Units |        | Car        |       |
|------------|------------|------------|---------------|-------|--------|------------|-------|
|            |            |            |               | Reqd. | Prop.  | Reqd./Unit | Reqd. |
| A (WING)   | Commercial | Small Shop | > 0           | 50    | 405.51 | 1          | 8     |
| Total :    | -          | -          | -             | -     | -      | -          | 8     |

Parking Check (Table 7b)

| Vehicle Type  | Reqd. |               | Achieved |               |
|---------------|-------|---------------|----------|---------------|
|               | No.   | Area (Sq.mt.) | No.      | Area (Sq.mt.) |
| Car           | 8     | 110.00        | 8        | 110.00        |
| Total Car     | 8     | 110.00        | 8        | 110.00        |
| TwoWheeler    | -     | 13.75         | 0        | 0.00          |
| Other Parking | -     | -             | -        | 36.08         |
| Total         |       | 123.75        |          | 146.08        |

SCHEDULE OF JOINEERY:

| BLOCK NAME | NAME | LENGTH | HEIGHT | NOS |
|------------|------|--------|--------|-----|
| A (WING)   | D2   | 0.76   | 2.10   | 03  |
| A (WING)   | D1   | 0.90   | 2.10   | 06  |
| A (WING)   | D2   | 0.90   | 2.10   | 04  |
| A (WING)   | D1   | 1.10   | 2.10   | 02  |
| A (WING)   | D1   | 1.50   | 2.10   | 01  |

SCHEDULE OF JOINEERY:

| BLOCK NAME | NAME | LENGTH | HEIGHT | NOS |
|------------|------|--------|--------|-----|
| A (WING)   | V1   | 1.00   | 1.20   | 03  |
| A (WING)   | W1   | 1.80   | 2.00   | 09  |
| A (WING)   | W1   | 2.00   | 2.10   | 14  |